



RANDOLPH COUNTY PLANNING BOARD

MINUTES

October 4, 2022

There was a meeting of the Randolph County Planning Board on Tuesday, **October 4, 2022**, at 6:30 p.m. in the 1909 Historic Courthouse Meeting Room, 145-C Worth St, Asheboro, NC.

Chairman **Pell** called the meeting to order at 6:30 p.m. and welcomed those in attendance and asked for a roll call of the members.

Hal Johnson, County Manager, sitting in for Planning Director, called the roll of the Board members.

- Reid Pell, Chairman, *present*;
- John Cable, *present*;
- Kemp Davis, *present*;
- Melinda Vaughan, *present*;
- Reggie Beeson, *present*;
- Ken Austin, *present*;
- Barry Bunting, Alternate, *absent*; and
- Brandon Hedrick, *present*.

County Attorney, **Ben Morgan**, was also present.

Johnson informed the Chairman there was a quorum of the members present for the meeting.

Pell called for a motion to approve the consent agenda as presented.

Consent Agenda:

- Approval of agenda for the October 4, 2022, Planning Board meeting.
- Approval of the minutes from the September 13, 2022, Planning Board and Zoning Board of Adjustment meeting.
- Approval of the 2023 Planning Board Meeting schedule.

Davis made the motion to approve the consent agenda as presented, with **Cable** making the second to the motion. The motion was adopted unanimously.

Pell asks the Board members if there are any conflicts in the following cases. Hearing none, **Johnson** presented the first case along with site plans, and pictures of the site and surrounding properties.

REZONING REQUEST #2022-00002514

RUSSELL LINEBERRY, Liberty, NC, is requesting to rezone 1.92 acres out of 14.42 acres at 6267 Richland Church Rd, Liberty Township, Tax ID #8728419786, Secondary Growth Area, from *RA - Residential Agricultural District* to *CVOE-CD - Conventional Subdivision Overlay Exclusive - Conditional District*. The proposed Conditional Zoning District would specifically allow a two-lot, site-built subdivision as per the site plan. Property Owner: Mickey B. Smith

Pell opened the public hearing and called for anyone supporting the rezoning request to come forward and speak.

Russell Lineberry, 6841 Layton Rd, Liberty, NC, addressed the Board on behalf of Mickey Smith. He said that Mr. Smith built his personal home on the property, is only asking for two, one-acre lots to be developed, and will retain the remaining acreage for himself. He said the request is comparable to other properties in the area and is needed for building lots due to the anticipated growth expected from the megasite.

Johnson asked Lineberry if there have been any preliminary tests completed on the soil. **Lineberry** said both tracts have been approved for septic areas by the County.

Davis asked if the access for both tracts will be on Lake Juno Rd. **Lineberry** answered yes.

Cable asked if the two proposed tracts are smaller than the surrounding lots. **Lineberry** said there are multiple one-acre lots in the surrounding area.

Hedrick asked about recommendations from NCDOT. **Lineberry** said he had received a letter from NCDOT. He said the property is not in a curve, and there is sufficient sight distance.

Pell asked if there was anyone else that would like to speak in favor of the request. Hearing none, **Pell** asked if anyone would like to speak in opposition to the request. Hearing none, **Pell** closed the public hearing for discussion among the Board members and a motion.

Cable asked if the request was duly posted and if proper notices were given to residents in the area. It was confirmed by staff that the notices were sent as required.

Hedrick made the motion to approve the rezoning request to rezone the specified parcel(s) on the rezoning application to the requested zoning district based upon the **Determination of Consistency and Findings of Reasonableness and Public Interest** statements that are included in the Planning Board agenda, submitted during the rezoning presentation and as may be amended, incorporated into the motion, to be included in the minutes, as well as the site plan(s) with all agreed-upon revisions, also incorporated into the motion and that the request is consistent with the *Randolph County Growth*

Management Plan. **Beeson** made a second to the motion to approve the rezoning request.

Pell called the question on the motion to approve the rezoning request, and the motion was adopted unanimously.

Johnson presented the second case, site plans, and pictures of the site and surrounding properties.

REZONING REQUEST #2022-00002478

MIKE AND DARLENE GROCHOWSKI, High Point, NC, is requesting to rezone 0.92 acres out of 6.59 acres at 4663 Peaceful Ln, Trinity Township, Lake Reese Balance Watershed, Tax ID #7715697844, Primary Growth Area, from *RA - Residential Agricultural District* to *HC-CD - Highway Commercial - Conditional District*. The proposed Conditional Zoning District would specifically allow a contractor's storage yard as per the site plan.

Darlene Grochowski, 3814 Pineview Ave, High Point, NC, said they are requesting a rezoning to allow them to store their equipment such as skid steers, excavators, and other equipment on the property when not in use off-site.

Davis asked if any of the equipment would be for sale or if all of it is used for their business. **Grochowski** said it is all used for their business.

Austin asked if there would be fencing placed on the property. **Grochowski** said fencing would be installed along the neighbor's property line to the proposed building and storage yard location.

Davis asked if the access to the property is on a shared drive and asked who maintains the drive. **Grochowski** said the drive is shared access and they typically maintain the drive. She said her daughter lives on the property as well.

Beeson asked if debris is brought back to this storage yard. **Grochowski** answered yes.

Cable asked if debris is burned on site. **Grochowski** said they burn some material, some of it can be used at other job sites, and the rest will be disposed of when needed.

Davis asked if the property is already being used for this purpose and **Austin** asked if the driveway could handle this type of traffic. **Grochowski** answered yes to both. She said they have used the property for a couple of years.

Davis asked if there have been any complaints regarding the driveway. **Grochowski** said there have been complaints regarding nails possibly puncturing a couple of tires.

Cable asked what type of business they operate and how far they were hauling the items back to this site. **Grochowski** said they run a concrete business and have jobs all over the State.

Summer Grochowski, 4663 Peaceful Ln, Trinity, NC, daughter of the property owner, said she lives on the property and has no issues with the driveway.

There was a discussion with the Planning Board members as to the location of her residence, 4663 Peaceful Ln, in relation to the request. **Johnson** asked **S. Grochowski** if she helps maintain the driveway. **S. Grochowski** said if the driveway needs attention, she informs one of the employees to take care of it when they return to the site with equipment.

Vaughan asked where the on-site burning takes place. **S. Grochowski** described it to be cleared area just south of her home.

Pell asked if there was anyone else that would like to speak in favor of the request. Hearing none, he asked if anyone would like to speak in opposition to the request.

Clifton Gum, 4661 Peaceful Ln, Trinity, NC, submitted photos as evidence, Exhibit 1. He described the concrete business as being disruptive to his family daily. He said the employees load and unload equipment during late evening and early morning hours, and yell at one another next to his home. He said the employees drive at accelerated speeds up and down the driveway, causing damage and requiring additional gravel to be purchased. He said the trucks are constantly dropping objects into the driveway, and causing flat tires. He also said employees pick up their paychecks at this location on Fridays as well, causing additional traffic.

Gum said there have been security issues and theft on the property, employees have come to his home to ask for his Wi-Fi password, have asked to use his cell phone, and even approached visiting family members while in his driveway, to ask about the business.

Gum said he had spoken to the owner about his complaints and was told that he knew what he was getting into when he purchased his property. He asked the Board to deny the request because of the negative impact it has placed on their day-to-day life.

Johnson asked how long the business has been operating at this location. **Gum** said his family and the business have both been at this location for about four years.

Vaughan asked if the property was listed as a business. **Gum** answered no.

Cable said the photos submitted by **Gum** show bright lights on the property and asked how often those lights are turned on. **Gum** said they are on anytime someone is on the property.

Davis asked **Gum** about the location of his home in relation to the business. **Gum** described it as 4661 Peaceful Ln, to be located on the east side of the request.

Cable asked if everyone shares the same drive. **Gum** answered yes.

Austin asked what the latest or earliest hours of operation have been. **Gum** described it to be as early as 1:00 a.m., until 4:00 a.m.

Cable asked if this activity had been reported to the Planning and Zoning Department. **Gum** answered yes. **Gum** said that is why the request is now before the Board. **Cable** asked if the Sheriff's Department had been called. **Gum** said he had spoken to someone and was told that by the time someone could arrive on the scene, the workers would probably be gone so he has not filed a complaint.

Davis asked **Gum** if the business activity or the degradation of the driveway was his main concern. **Gum** said the business activity because you can hear everything because of the location of his home. **Davis** asked if he moved the mobile home to the property. **Gum** answered no. He said the home was already on the property when he purchased the property.

Cable asked how many properties share that drive and who maintains it. **Gum** said there are four properties and the Grochowski's usually maintain the drive because of the business. **Cable** asked what has been done by the Planning Department regarding the complaint. **Gum** said the property was found to be in violation of zoning, and they were required to ask for the rezoning and that is why the request is now before the Board. **Cable** asked how long ago the Planning Department was notified. **Gum** said the process started in January.

Robert Winfrey, 4532 Millers Mill Rd, Trinity, NC, told the Board he has lived on the property for over thirty years. He said the drive is not State Maintained and is constantly washing out, trucks are continually running up and down the drive, creating dust and noise. He asked the Board to deny the request because of all of the problems.

Randal E Chapel, 4616 Millers Mill Rd, Trinity, NC, expressed his concerns about the driveway being used for more than the residential use it was intended for and said he fears that even more of the property would be used for commercial use in the future.

Kay Winfrey, 4532 Millers Mill Rd, Trinity, NC, said their property has standing water issues from heavy rains and they have already had to hire someone to create a draining ditch to help with the problems. She said something needs to be done to stop the water from draining on her property. **Robert Winfrey** said when the driveway was installed, a tile was not installed to help with the water drainage. **Cable** asked who installed the driveway. **R. Winfrey** said Frank Lamb built the drive when he developed the property.

Having no more opposition, **Pell** asked **D. Grochowski** if she would like to address any of the questions or concerns that have been presented to the Board. **D. Grochowski** said

she would like to keep the peace with the neighbors and if the request is passed she will install a fence which will help, and they have and will continue to maintain the road.

Davis asked if this shared drive is the only access they have to their property and if it is the primary drive for the business. **D. Grochowski** answered yes. **Davis** asked where the concrete is dumped on the property. **D. Grochowski** said it is the cleared area shown in the aerial photo.

Cable asked **D. Grochowski** how long she has owned the property and how long they have used it for the business. **D. Grochowski** said she wasn't sure how long they owned it but started using it for the business shortly after the purchase.

Austin asked if there are any permanent structures on the property for an office. **D. Grochowski** answered no.

Cable asked about paychecks being picked up on the property. **Grochowski** said her daughter takes care of payroll so the employees come to the property to pick up paychecks at her house.

Johnson asked if they had asked anyone about using the property for business purposes when they purchased it. **D. Grochowski** said they previously ran the business out of her home and assumed it would be ok as long as no one said anything about it. **Johnson** asked if the business has grown over the last several years. **D. Grochowski** answered no. **Cable** asked how many trucks stay on the property. **D. Grochowski** said she does not have any trucks being left on the property but the excavators and skid steers are on the property if they are not in use on a job site. **Cable** asked what address the equipment is registered. **D. Grochowski** said they are registered to her home address on Pineview Street in High Point, NC.

Beeson said he is familiar with and in favor of **D. Grochowski's** type of business, but he does not feel this may be the best location. He said there will always be early morning or late evening activity disrupting the neighbors.

Pell asked if there were any additional questions from the Board. Hearing none, he closed the public hearing for discussion among the Board members and a motion.

Davis after visiting the site, he feels the driveway is not adequate for the commercial activity that is taking place on the property. **Cable** said he agrees with the other Board members in this case. He said strategic planning is to protect areas such as this, and he would have a hard time supporting this request.

Austin said he feels the driveway was never intended to handle this type of traffic and doesn't feel the request would be the best use of the property.

Hedrick said relating this situation to the *Unified Development Ordinance* and *Growth Management Plan*, it appears it would be kind of a spot zoning situation because there

are no other *Highway Commercial* businesses nearby and it does not appear to meet the development requirements.

Cable made the motion to deny the rezoning request to rezone the specified parcel(s) on the rezoning application to the requested zoning district based upon the **Determination of Consistency and Findings of Reasonableness and Public Interest** statements that are included in the Planning Board agenda, submitted during the rezoning presentation and as may be amended, incorporated into the motion, to be included in the minutes, as well as the site plan(s) with all agreed-upon revisions, also incorporated into the motion and that the request is not consistent with the *Randolph County Growth Management Plan*. **Austin** made a second to the motion to deny the rezoning request.

Pell called the question on the motion to deny the rezoning request, and the motion was adopted unanimously.

Johnson presented the third case, site plans, and pictures of the site and surrounding properties.

REZONING REQUEST #2022-00002370

EVARARDO SUAREZ CANAS, Sophia, NC, is requesting to rezone 2.99 acres out of 12.00 acres along US Hwy 311, New Market Township, Randleman Lake Protected Area Watershed, Tax ID #7736399235, Primary Growth Area, from *RA - Residential Agricultural District* to *LI-CD - Light Industrial - Conditional District*. The proposed Conditional Zoning District would specifically allow a dumpster rental and concrete business and a total of 17.76% SNIA as per the site plan.

After presenting the case to the Board, the applicant decided to WITHDRAW the request until a later date, to allow additional time for necessary site work for the request.

Johnson presented the fourth case of the night along with site plans and pictures of the site and surrounding properties.

REZONING REQUEST #2022-00002485

FERRELL AND LOFLIN PROPERTIES, LLC, Denton, NC, is requesting to rezone 5.00 acres out of 45.37 acres at 9566 NC Hwy 49 S, New Hope Township, Tax ID #6687618451, Rural Growth Area, from *RA - Residential Agricultural District* to *HI-CD - Heavy Industrial - Conditional District*. The proposed Conditional Zoning District would specifically allow the production of engines and engine parts with a storefront as per the site plan.

Terry Ferrell, 1382 Cranford Rd., Denton, NC, explained to the Board the need for locating a portion of their business on this property. He said they have outgrown their

current location, and anticipate additional growth. He said there are multiple businesses in the area, it makes sense to be located on Hwy 49 because there will be good exposure, and it will be good for the County and for providing employment.

Davis asked if this business is for racing. **Ferrell** said they build racing engines.

Davis asked if there would be outside storage, if they would be testing engines, and if there would be a concern for noise. **Ferrell** said he currently tests the engines in the existing location and does not have intentions of bringing the machines to this facility for testing but cannot guarantee that he will not move the machines to this location. **Ferrell** said there are no complaints from the neighboring properties at his current location.

Austin asked Ferrell to describe his proposed building. **Ferrell** said they would like to start with a 100 ft. by 200 ft. building with an expandable wall for the future. **Davis** asked if he planned to have manufacturing in the building also. **Ferrell** said they do plan to manufacture parts for building the engines.

Cable asked how many employees he planned to have. **Ferrell** said he currently has fifteen to twenty and hopes to double or even triple that number in the next couple of years.

Cable asked if he had reached out to any of the neighbors. **Ferrell** answered yes. **Davis** asked how well he got along with the farmers in the area. **Ferrell** said they provide parts needed for some of the farming equipment used so it works well.

Vaughan asked if there had been issues with the State in the past about storing equipment next to the highway. **Ferrell** said that would have been Mid-State Company, and he has nothing to do with that company. He said they have a nice facility and have never had complaints. He said his company deals with customers that have \$500,000 cars and they will not want to deal with a low-scale company.

Stephanie Ferrell, T. Ferrell's wife rose to address the Board. **S. Ferrell** said that she has been a commercial lender for twenty-two years and that she anticipated economic growth to have a ten percent downturn for new facilities and TKM has nearly doubled since 2015 for business and employees.

Pell asked if there was anyone else that would like to speak in favor of the request. Hearing none, he asked if anyone would like to speak in opposition to the request. Hearing none, **Pell** closed the public hearing for discussion among the Board members and a motion.

Davis said understands some of the concerns the Planning staff had for the business fitting into the area. He said after hearing the testimony, he believes the facility will be top-notch. **Cable** agrees with **Davis** and said he appreciates the fact that his neighbors are calling him for manufactured parts and he stops whatever he's doing to help someone out. **Austin** said Randolph County needs this type of business from a marketing

standpoint, he believes it will draw attention to our County.

Davis made the motion to approve the rezoning request to rezone the specified parcel(s) on the rezoning application to the requested zoning district based upon the **Determination of Consistency and Findings of Reasonableness and Public Interest** statements that are included in the Planning Board agenda, submitted during the rezoning presentation and as may be amended, incorporated into the motion, to be included in the minutes, as well as the site plan(s) with all agreed-upon revisions, also incorporated into the motion and that the request is consistent with the *Randolph County Growth Management Plan*. **Vaughan** made a second to the motion to approve the rezoning request.

Pell called the question on the motion to approve the rezoning request, and the motion was adopted unanimously.

Johnson presented the fifth case, site plans, and pictures of the site and surrounding properties.

REZONING REQUEST #2022-00002367

MIGUEL URIBE FLORES, Asheboro, NC, is requesting to rezone 5.49 acres out of 19.39 acres at 2528 NC Hwy 49 N, Columbia Township, Tax ID #8713988508, Primary Growth Area, from *HC-CD - Highway Commercial - Conditional District* to *HI-CD - Heavy Industrial - Conditional District*. The proposed Conditional Zoning District would specifically allow an existing furniture frame shop in an existing building as per the site plan.

Miguel Flores, 1046 Briles Dr., Asheboro, NC, said he started his business sometime in 2021 and is trying to expand.

Johnson asked how many employees he has. **Flores** said there are ten.

Cable asked what type of furniture he builds. **Flores** said he builds frames only for living room-type furniture. **Cable** asked if there are spray booths for painting or if there is any hazardous material. **Flores** answered no.

Cable asked about the hours of operation. **Flores** said it is normally 7:00 a.m. until 3:00 p.m. Monday through Saturday and weather conditions may cause some variations if it is too hot. He said don't like to work on Saturdays but the demand has required them to recently.

Davis asked if the hours ever extend past 3:00 p.m. Flores said they have to stay late some days because of a CNC machine that is run by his brother who has another job. **Cable** asked if it would be safe to say their hours are until 5:30 or 6:00 p.m. **Flores** said the goal is to work eight to nine hours a day. **Cable** asked if any of the neighbors had approached him with complaints. **Flores** said he has not received any complaints directly.

Kelly and Mark Tabor, 7900 Ferguson Rd, Liberty, NC. **K. Tabor** said she lives across the street and it is sometimes very noisy with saws, equipment, and loud music, sometimes as late as 10:00 or 11:00 at night. She said she does not have a problem having the business run from 7:00 a.m. until 3:00 p.m. but she has concerns that if the property is re-zoned, the business will eventually run a second and third shifts as well.

Cable asked if the music is the biggest issue. **K. Tabor** said she has concerns in general for additional shifts and an increase in noise. **Cable** asked if she would be opposed to the business if the hours of operation were limited to 5 or 6:00 p.m. **K. Tabor** said she would be fine with that.

Austin said he would like to point out the rezoning is for 5.49 acres only. **K. Tabor** said the buildings are located right next to the road and she is directly across the road and she can hear everything.

Hedrick asked when she purchased her property. **K. Tabor** did not give a clear answer. **Austin** asked if their property is across the street. **M. Tabor** described the location of the house in relation to the business. He said their main concern is having a second shift.

Perry Conner, 216 W Main St, Franklinville, NC, said he owns the property directly south of this request and although he does not currently live on the property, he has been visiting his renter and can hear the loud noise on the property. He said he has concerns that someone has appeared to have opened a business that is not properly zoned and is asking for permission after the fact. He said he does not have a problem with having a frame shop but would not like other permitted uses that fall within the *HI* zoning.

Candi Langley, 2454 NC Hwy 49, Ramseur, NC, said she lives two houses down from the property. She feels the *HI* zoning allows too many options and feels there should be more control over what is located in an area with the number of residences they have in the area. Langley said there is not sufficient parking for the number of employees at the business, it is still operating sometimes at 8:00 p.m. when she is just getting home and is noisy. She said they put the cart before the horse and should have gotten all of this approved before purchasing the property and starting their business.

Flores said he currently works off-site and will try to control the music issue. He said he would make sure it is not heard after 5:00 p.m. He said in response to one of the previous comments, he originally started leasing the property, was approved for wood-working and thought he fell within that category and purchased the property with the same understanding and has now found out that he is within another category and does not have the appropriate zoning for his operations.

Flores said he said he can require there be no music after 5:30 or 6:00 p.m., although the noise from the saws will be more of a challenge and the CNC machine will have to run after normal operations to keep up with the demand of the rest of the operation. He said he has plenty of space to expand, and would not need to build additional space.

There were additional conversations between **Flores** and the Planning Board regarding options for controlling noise.

Flores said he was unaware of the noise complaints because he is normally not on-site and he could eliminate that issue moving forward.

Davis asked how late the CNC machine will have to run. Flores said his brother is normally on-site from 4:00 until 8:00 pm.

Hedrick said the Board would be looking at the request as presented and if he were to make concessions on the noise issues, he would be doing that as a courtesy to his neighbors. **Flores** said he is going to address the music issues. **Hedrick** said it appears the original rezoning took place in 1994 according to the information given to the Board members and asked Flores if he was aware of the conditions. **Flores** said that it was his understanding that the rezoning allowed woodworking. **Hedrick** asked if he was aware of any hours of operations restrictions. **Flores** answered no.

Having no further questions for Flores, **Pell** closed the public hearing for discussion among the Board members and a motion.

Davis said he would like to clarify that the request is a conditional district and any changes made to this request would have to come back to the Board. **Hedrick** said as it is spelled out in the agenda, the request would have to remain specific to the site plan presented. He said he would also add that when you look at the existing zoning which allows manufacturing of wood products and the current owner purchased the property not realizing there is a difference for frames and under the current use, they would be allowed to run saw all hours of the night, they just can't build furniture frames. **Cable** said it seems that everyone's testimony had music as a common denominator. **Austin** said the concerns for Heavy Industrial zoning were mentioned and have already been addressed. **Cable** said there were also concerns about having a second shift. He said the manufacturing sounds like it would fit within the timeline until 5:30 or 6:00 p.m. but the CNC runs later. He said he believes the major issue is noise. He said you have a growing business and the owner is willing to work to be a good neighbor and then you have neighbors who don't want noise all hours of the night with bright lights, keeping them up all night and he would like to make sure there is a happy medium.

Hedrick said it sounds like **Flores** is planning to be respectful of the neighbors. **Cable** said **Flores** seems to want to work on the neighbor's issues. He said would also like to point out that the current zoning allows woodworking would allow saws to run all hours of the night.

Davis made the motion to approve the rezoning request to rezone the specified parcel(s) on the rezoning application to the requested zoning district based upon the **Determination of Consistency and Findings of Reasonableness and Public Interest** statements that are included in the Planning Board agenda, submitted during the rezoning presentation and as may be amended, incorporated into the motion, to be included in the

minutes, as well as the site plan(s) with all agreed-upon revisions, also incorporated into the motion and that the request is consistent with the *Randolph County Growth Management Plan*. **Hedrick** made a second to the motion to approve the rezoning request.

Pell called the question on the motion to approve the rezoning request, and the motion was adopted unanimously.

Johnson presented the sixth case, site plans, and pictures of the site and surrounding properties.

REZONING REQUEST #2022-00002366

SCOTTY OUTDOOR, LLC, Snow Hill, NC, is requesting to rezone 1.32 acres out of 9.61 acres at 369 Frazier Rd, Columbia Township, Tax ID #8732453126, Secondary Growth Area, from *HC-CD - Highway Commercial - Conditional District* to *HC-CD - Highway Commercial - Conditional District*. The proposed Conditional Zoning District would specifically amend the existing Conditional District Permit to allow an outdoor advertising sign as per the site plan. Property Owners: Mandi Dawn and Ned Scott Beasley

Mike Sutherland, PO Box 974, Snow Hill, NC, said that the property meets all of the requirements and they would like to build a billboard 14 ft. by 48 ft. sign which will be 35 ft. tall.

Johnson asked what is currently on the property. **Sutherland** said there is a house on one portion of the property, which is separated by a large buffer of trees, from the commercial portion on the front edge of the property.

Austin asked if it would be a lighted sign. **Sutherland** said it would be a lighted sign but will be programmed to turn off around 9:00 or 10:00 p.m.

Johnson explained to the Board that the existing conditional district did not include an outdoor advertising sign so the conditions have to be amended to allow the sign.

Pell asked if there was anyone else present to speak in favor of the request. Hearing none, he asked if there was anyone in opposition to the request. Hearing none, **Pell** closed the public hearing for discussion among the Board or a motion.

Cable asked if everything was duly posted and the required notifications sent. There was an affirmation by the Planning staff. **Davis** said he wants to protect the scenic beauty and discourage unnecessary billboards. **Johnson** said that is why they are not allowed by right and are before the Board.

Cable made the motion to approve the rezoning request to rezone the specified parcel(s) on the rezoning application to the requested zoning district based upon the **Determination of Consistency and Findings of Reasonableness and Public Interest** statements that are included in the Planning Board agenda, submitted during the rezoning presentation and as may be amended, incorporated into the motion, to be included in the minutes, as well as the site plan(s) with all agreed-upon revisions, also incorporated into the motion and that the request is consistent with the *Randolph County Growth Management Plan*. **Hedrick** made a second to the motion to approve the rezoning request.

Pell called the question on the motion to approve the rezoning request, and the motion was adopted with 5 for and 2 against the request.

Johnson presented the seventh case, site plans, and pictures of the site and surrounding properties.

REZONING REQUEST #2022-000002368

ROBERT L EVANS, Dallas, OR, is requesting to rezone 2.93 acres at 334 Dawson Miller Rd, Cedar Grove Township, Tax ID #7658316071, Secondary Growth Area, from *HC-CD - Highway Commercial - Conditional District* to *RA - Residential Agricultural District*. The proposed rezoning would allow any uses permitted by right in the *RA – Residential Agricultural District*.

Pell asked if there was anyone present to speak in favor of the request. Hearing none, he asked if there was anyone to speak in opposition to the request. Hearing none, **Pell** closed the public hearing for discussion among the Board or a motion.

Cable made the motion to approve the rezoning request to rezone the specified parcel(s) on the rezoning application to the requested zoning district based upon the **Determination of Consistency and Findings of Reasonableness and Public Interest** statements that are included in the Planning Board agenda, submitted during the rezoning presentation and as may be amended, incorporated into the motion, to be included in the minutes, as well as the site plan(s) with all agreed-upon revisions, also incorporated into the motion and that the request is consistent with the *Randolph County Growth Management Plan*. **Cable** made a second to the motion to approve the rezoning request.

Pell called the question on the motion to approve the rezoning request, and the motion was adopted unanimously.

Cable asked about the Variance request that was tabled from the previous month. It was announced that the application was withdrawn.

As the last item of business, **Cable** made a motion for **Kemp Davis** to become Vice-Chairman of the Planning Board, and **Hedrick** made a second to that motion. **Pell** called the question on the motion, and the motion was adopted unanimously.

Having no further business, **Pell** called for a motion to adjourn the meeting. **Austin** made the motion to adjourn, with **Beeson** making the second to the motion; the motion was adopted unanimously.

The meeting adjourned at 8:55 p.m., with 21 citizens present.

**RANDOLPH COUNTY
NORTH CAROLINA**

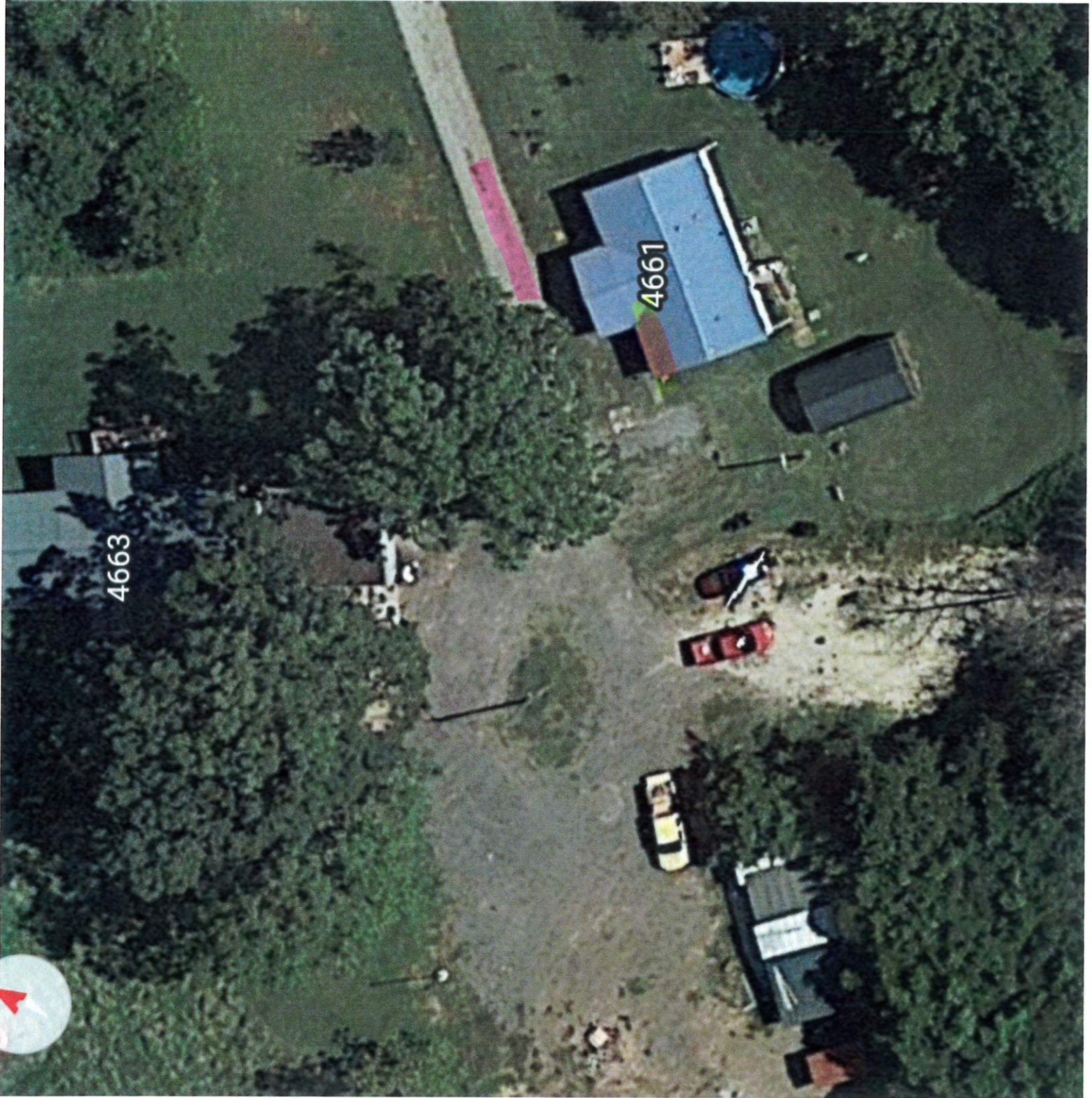
Chairman

Clerk to the Board

Date



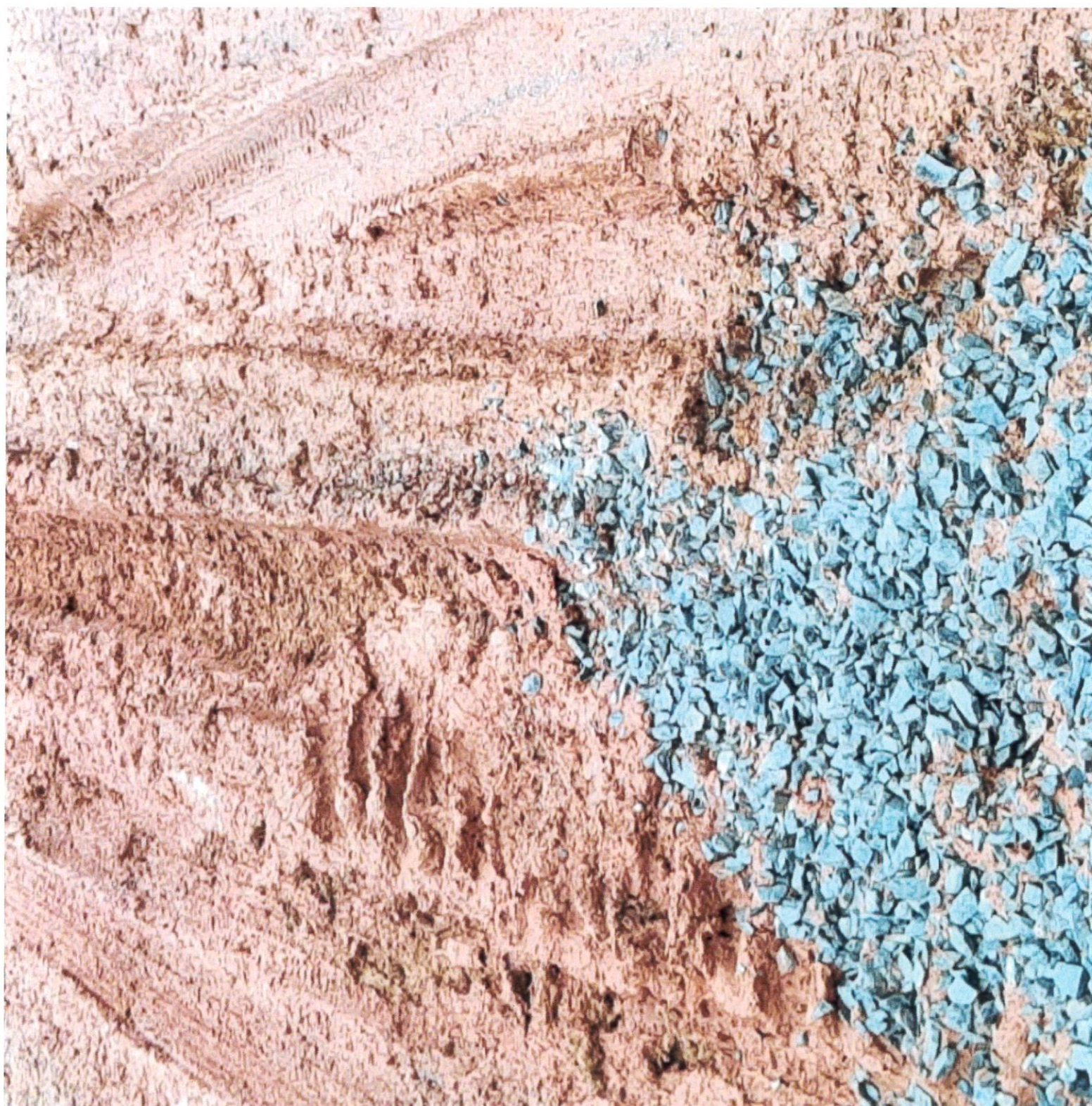
**Approved by Randolph County Planning Board
November 15, 2022**















-03-29 11:40:41





2022-01-13 11:18:50

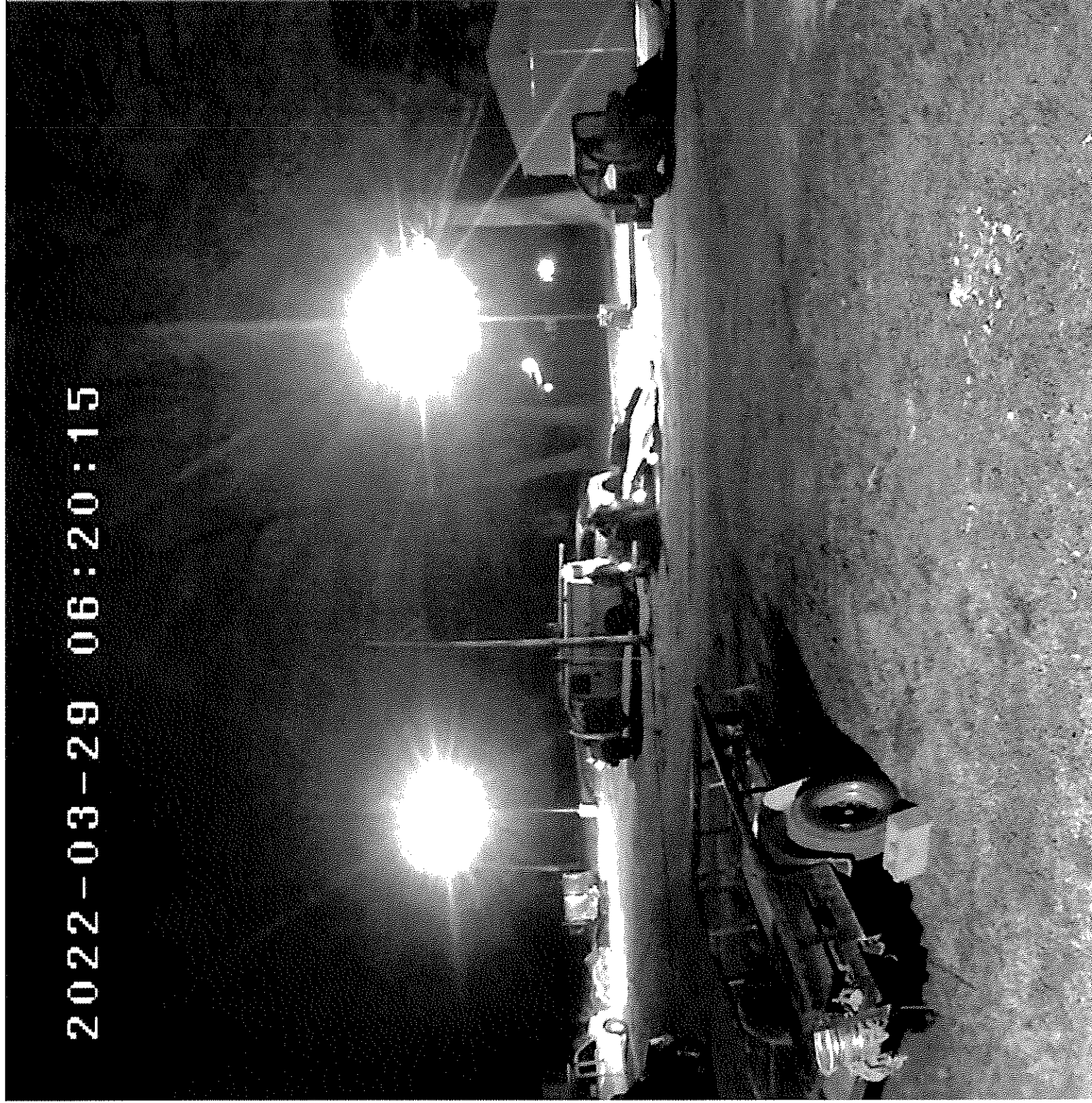








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2022-01-27 15:55:27





